

The drawings, details and specifications are solely for the purpose of seeking Planning and Building Regulation approvals. They are not intended as a specification of works, and PMG Ltd accepts no liability should they be used in this manner.

Drawing to be read in conjunction with specification, details notes and any specialist design elements. Any works carried out prior to approval are done so at the clients/builders own risk.

The contractor is responsible for checking all scaled and stated dimensions prior to commencement on site. The length of all structural elements are to be checked on site prior to placing orders.

The builder is to expose any existing structural elements (foundations, walls, lintels, floors, beams, roofs etc) which are accepting additional loads for Building Control and client approval prior to commencement.

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Any boundaries shown on the plan are their assumed location/line. No works to project over the boundary line.

Client is resolve all matters relating to the Party Wall etc Act 1996 prior to commencing building works



Schedule of Dilapidation's Ref No. 8  
Clause No 5.4  
Low level stone ledge to left hand side of ground floor office entrance door is displaying signs of cracking. Contractor to investigate cracking and repair cill. Make good cill ready for redecoration.



Schedule of Dilapidation's Ref No. 6  
Clause No 5.4  
Remove sign over ground floor office entrance and provide new stainless steel entrance sign over the door - see D&A statement for example of new sign

Schedule of Dilapidation's Ref No. 7  
Clause No 5.5.2  
Remove sign to left hand side of ground floor office entrance. Fill/repair holes ready for redecoration. Provide new signage to clients approval



Schedule of Dilapidation's Ref No. 3  
Clause No 5.5.2  
Remove cigarette bin, fill and repair fixing holes ready for redecoration



Schedule of Dilapidation's Ref No. 4  
Clause No 5.4  
Cracking in stone ledge over ground floor shop entrance to be repaired ready for redecoration



Schedule of Dilapidation's Ref No. 4  
Clause No 5.4  
Fill and repair old fixing holes to external walls over ground floor shop entrance ready for redecoration



Repair existing window cill to first floor west elevation ready for redecoration

Schedule of Dilapidation's Ref No. 9  
Clause No 5.4  
Ironmongery to the existing external door is tarnished with metallic surfacing breaking down and flaking. Replace all existing ironmongery to the existing door

Schedule of Dilapidation's Ref No. 11  
Clause No 5.4  
Remove existing faded 'Fire Exit Keep Clear' sign to door and replace.

- Additional Works to Office Entrance
- Replace existing rotten door, with an exact replica of the door to the retail unit. The replica door must match precisely the thickness, panelling, glazing, beading, ironmongery etc.
  - Remove existing keycode entry systems and make good. Install new key fob door entry system - see D&A statement for type of entry system equipment Provide new video entry phone to the front door. Entry system to be fully designed by the supplier and to be approved by the client
  - Provide two low level lights, one either side of the entrance door, and fixed to the external wall to light the existing front door and signage see D&A statement for type of lights



Schedule of Dilapidation's Ref No. 1 and 2  
Clause No 5.23 and 5th Schedule, and Clause 5.4

Repair all cracks, holes and surfaces to the external walls and redecorate with matching colour

Repair existing windows and doors and repaint in matching colour. Existing sliding sash windows to receive the Ventrola draught proofing system.

Repaint existing cast iron rainwater goods in matching colour



Schedule of Dilapidation's Ref No. 10  
Clause No 5.5.2

Remove all existing redundant intruder alarm boxes fixed to the external walls. Repair/fill fixings/holes ready to for redecoration



Schedule of Dilapidation's Ref No. 12  
Clause No 5.5.2

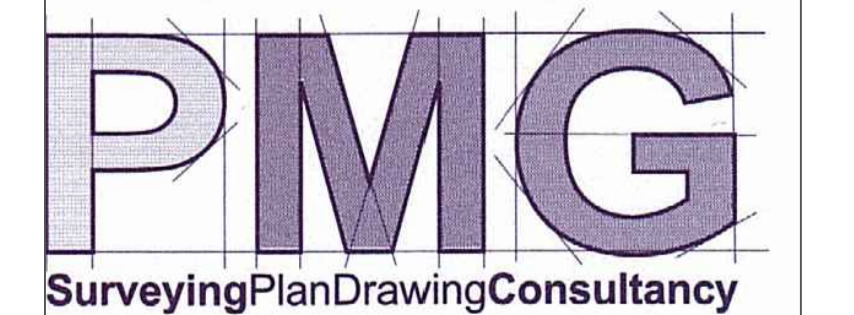
Remove liquid waterproofing to the bay window roof abutment. Provide a new lead flashing dressed into the wall and over the existing roof membrane.



Schedule of Dilapidation's Ref No. 13 & 14  
Clause No 5.4

Builder to access the roof to carry out a detailed roof survey and advise of any necessary remedial works, together with costs for clients approval. Leadwork to the chimneys to be renewed in accordance with Lead Development Association guidelines. Existing brickwork chimneys to be cleaned and repointed, make good all areas.

Project Title	<b>Cygnat House 2 Clarence Street Staines-Upon-Thames Middlesex TW18 4SP</b>
Drawing Title	<b>Proposed Elevations</b>
Client	<b>McKay Securities PLC</b>
Date:	<b>January 2015</b>
Scale:	<b>1:100 at A1</b>
Drawing No.	<b>002 rev G</b>



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