

The drawings, details and specifications are solely for the purpose of seeking Planning and Building Regulation approvals. They are not intended as a specification of works, and PMG Ltd accepts no liability should they be used in this manner.

Drawing to be read in conjunction with specification, details notes and any specialist design elements. Any works carried out prior to approval are done so at the clients/builders own risk.

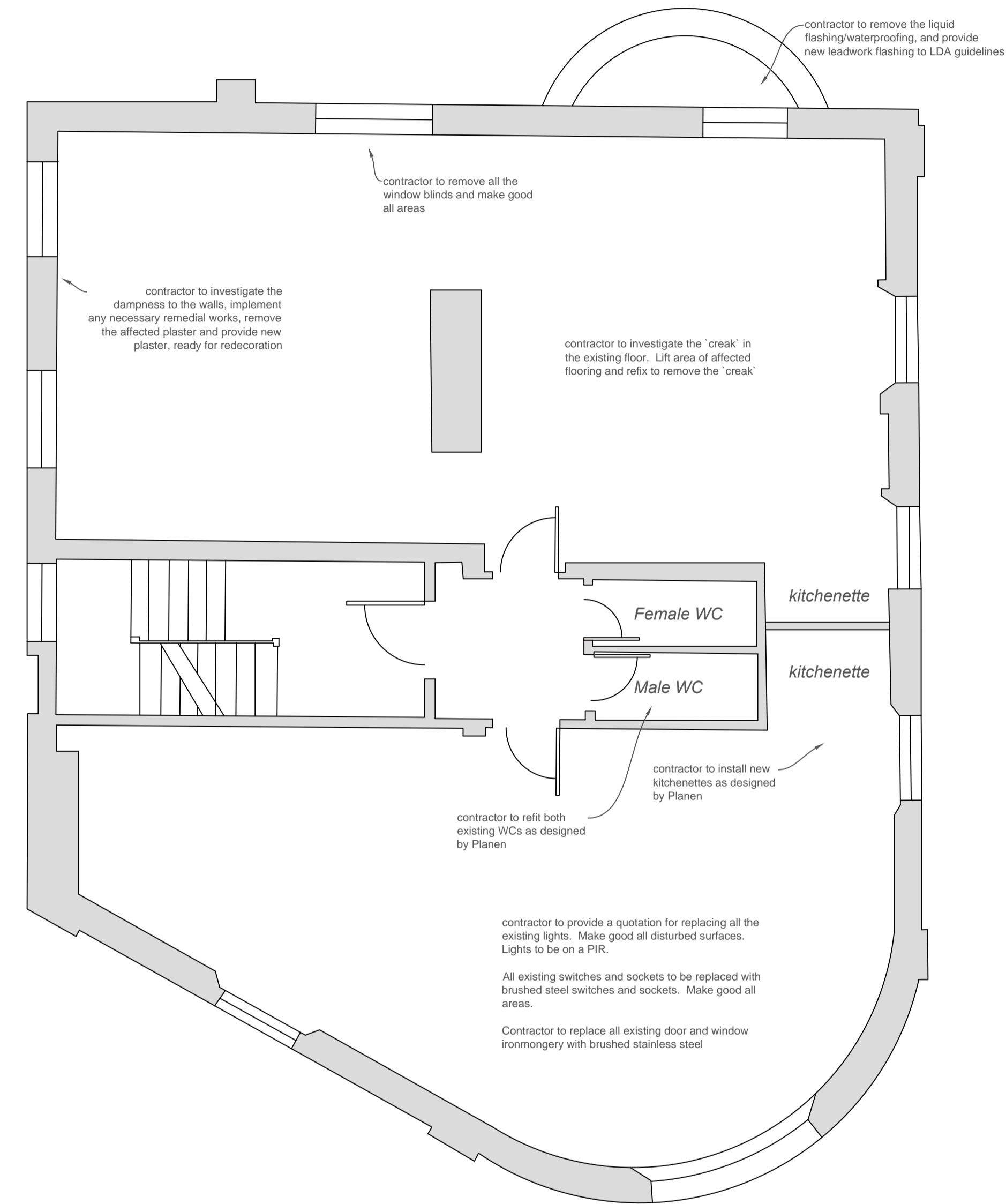
The contractor is responsible for checking all scaled and stated dimensions prior to commencement on site. The length of all structural elements are to be checked on site prior to placing orders.

The builder is to expose any existing structural elements (foundations, walls, lintels, floors, beams, roofs etc) which are accepting additional loads for Building Control and client approval prior to commencement.

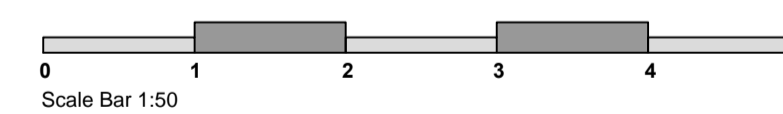
This drawing is the copyright of PMG Ltd and must not be copied, reproduced or replicated in any way without prior consent. These drawings and other documents are not transferrable by use by any other person.

Any boundaries shown on the plan are their assumed location/line. No works to project over the boundary line.

Client is to resolve all matters relating to the Party Wall etc Act 1996 prior to commencing building works



PROPOSED FIRST FLOOR PLAN - 1:50



General Dilapidations

Schedule of Dilapidation's Ref No. 15 - Clause No 5.23 & 5th Schedule (2.2)
Redecorate all surfaces; including walls, ceilings, skirtings, architraves, joinery, windows and doors - see specification

Schedule of Dilapidations Ref No 16 - Clause 5.6.1 - contractor to carry out a periodic test and inspection of the electrical system and provide certification to the client. Contractor to carry out an inspection and test of the emergency lighting system and provide certification to the client. Contractor to carry out an inspection and test of the existing fire alarm system and provide certification to the client.

Schedule of Dilapidations Ref No 17 - Clause 5.6.1 - contractor to carry out a test and inspection of the gas fired boiler and provide commercial gas safe certification to the client.

Schedule of Dilapidations Ref No 18 - Clause 5.6.1 - contractor to carry out a full survey of the water services. Contractor to provide chlorination certificates and water risk assessments to the client.

Schedule of Dilapidations Ref No 19 - Clause 5.23 & 5th Schedule (2.1) - contractor to arrange for all internal glass/glazing to be thoroughly cleaned (internally and externally).

Schedule of Dilapidations Ref No 20 & 21 - Clause 5.5.2 - contractor remove all intruder alarm systems (including all wiring and sensors), data and telecom systems (back to the incoming BT line, and including all wiring, trunking and terminals) and make good all areas. Contractor to ensure that any intruder systems and data systems serving the ground floor retail unit remain in place.

Schedule of Dilapidations Ref No 22 - Clause 5.5.2 - contractor to remove the existing kitchen units/tea point at first and second floor level (including any wall tiling). Contractor to install new kitchenettes, splash backs, services, fittings etc as designed by Planen, Cygnet House, Market Square, Staines-Upon-Thames, TW18 4RH - 01784 461887 (contact: Mr Daryl Robinson).

Schedule of Dilapidations Ref No 23 & 24 - Clause 5.4 - contractor to arrange for all existing carpets to be lifted and disposed off. Contractor to provide clients with quotation for either: (a) replacing existing carpets with new carpets of an identical colour and quality, (b) repairing the existing timber floor boards, sanding/stripping the floorboards and providing a stain to the floorboards.

Schedule of Dilapidations Ref No 25 - Clause 5.4 - contractor to replace all existing door ironmongery with brushes stainless steel ironmongery of a type to clients approval.

Schedule of Dilapidations Ref No 19 - Clause 5.23 & 5th Schedule (2.1) - contractor to arrange for all internal glass/glazing to be thoroughly cleaned (internally and externally).

Dilapidation's to First Floor

Schedule of Dilapidations Ref No 33 - Clause 5.4 - contractor to investigate the areas of damp to the first floor south facing walls. Remove the areas of affected plaster, provide a new plaster ready for new decorations.

Dilapidation's to Male and Female WCs

Schedule of Dilapidations Ref No 34 & 38 - Clause 5.4 - replace existing taps to male and female WC wash hand basins.

Schedule of Dilapidations Ref No 35 & 39 - Clause 5.23 & 5th Schedule (2.1) - existing toilet WCs and basins to be professionally cleaned and left in a good condition

Schedule of Dilapidations Ref No 36 & 40 - Clause 5.23 & 5th Schedule (2.1) - existing extract fan terminals to be professionally cleaned and left in a good condition. Contractor to ensure that the extract fan ducting is clean and free from obstruction.

Schedule of Dilapidations Ref No 37 & 41 - Clause 5.4 - existing vinyl floor tiles to be removed - **note - these tiles may contain asbestos**. Provide new vinyl floor tiles to clients approval.

Builder to prepare a quotation for client approval for completely refitting both the male and female WCs in accordance with the detailed designs prepared by Planen, Cygnet House, Market Square, Staines-Upon-Thames, TW18 4RH - 01784 461887 (contact: Mr Daryl Robinson). New WC designs to include, new flooring, new WCs, new basins, chrome waste pipes and fittings, new soap dispensers, new toilet roll holders, new chrome extract fan terminals, new Dyson Air hand-dryers, new tiles splash backs. Contractors mechanical engineer to investigate the potential for taking the hot water feed direct from the boiler, rather than having electric water heaters.

Dilapidation's to Entrance, Staircases and Landings

Schedule of Dilapidations Ref No 42 - Clause 5.4 - contractor to investigate the 'creaking' floors to the landing areas. Contractor to lift the floor boarding and refix to ensure that the floor does not creak.

Schedule of Dilapidations Ref No 43 - Clause 5.4 - contractor to replace the existing carpet to the stairs, hall and landing (colour to be approved by the client) and provide new contrasting nosings to the stair treads. Colour of the nosings to be approved by the client.

Dilapidation's to Basement (no floor plan)

Schedule of Dilapidations Ref No 44 - Clause 5.4 - contractor to repair/replace the 2No light fittings within the basement which are not working

Schedule of Dilapidations Ref No 45 - Clause 5.4 - contractor to arrange for a tanking specialist to investigate the cracks within the tanking system of the basement. specialist to prepare a detailed report on the condition of the tanking and whether the cracks are likely to impact upon the completeness of the tanking system. Tanking specialist to prepare a specification for repairing the cracks in the tanking, with the contractor providing a quotation for carrying out the remedial works to the tanking system

Schedule of Dilapidations Ref No 46 - Clause 5.4 - contractor to arrange for a tanking specialist to investigate the damp patches/powdery walls to the walls of the basement. specialist to prepare a detailed report on the condition of the tanking and whether remedial works are required to the tanking system. Tanking specialist to prepare a specification for repairing the tanking, with the contractor providing a quotation for carrying out the remedial works to the tanking system

Schedule of Dilapidations Ref No 47 - Clause 5.4 - contractor to replace the damaged fire proofing the beam over the basement. Provide 12mm fireline boarding with the joints taped and plaster finish. Redecorate the beam as required.

General Items

Contractor to replace all existing switches, sockets etc with new brushed steel sockets/switches to clients approval. Contractor to provide fee proposal to client for providing new power and data boxes/sockets/outlets within the floor (maximum of 5 per floor)

Contractor to provide a PIR to all lighting systems within the building

Contractor to provide a quotation for replacing all existing fire safety signage with stainless steel signage.

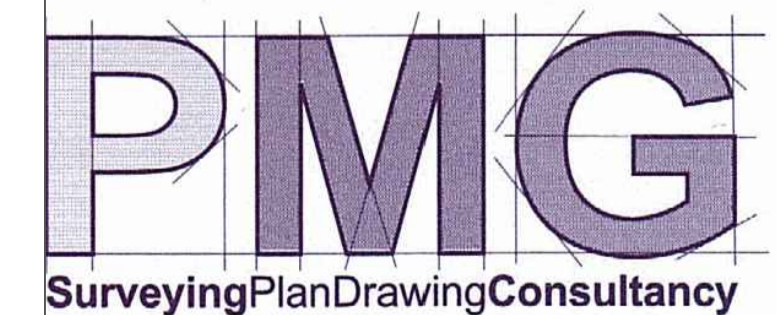
Contractor to replace all existing ironmongery to the windows with new matching ironmongery

Contractor to provide a quotation for replacing all existing lights as detailed in the lighting designers details. Make good all areas following installation of the new lights

Electrical subcontractor to investigate the existing electrical system and prepare a quotation for installing separate electrical meters to the three office suites and the ground floor shop.

Mechanical subcontractor to investigate the existing heating and hot water system and prepare a quotation for providing a direct hot water feed from the boiler system to serve the WCs and Kitchenettes.

Project Title	Cygnet House 2 Clarence Street Staines-Upon-Thames Middlesex TW18 4SP
Drawing Title	Proposed First Floor Plan
Client	McKay Securities PLC
Date:	January 2015
Scale:	1:50 at A1
Drawing No.	004 rev C



PMG (Building Design & Consultancy) Ltd
20 Bluebell Way,
Whiteley, Fareham,
Hampshire PO15 7FF
Tel: 07796 124247
Email: paul@pmgtd.uk.com
www.pmgtd.uk.com