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Drawing to be read in conjunction with specification, details notes and any specialist design elements. Any works carried out prior to approval are done so at the clients/builders own risk.

The contractor is responsible for checking all scaled and stated dimensions prior to commencement on site. The length of all structural elements are to be checked on site prior to placing orders.

The builder is to expose any existing structural elements (foundations, walls, lintels, floors, beams, roofs etc) which are accepting additional loads for Building Control and client approval prior to commencement.

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Any boundaries shown on the plan are their assumed location/line. No works to project over the boundary line.

Client is resolve all matters relating to the Party Wall etc Act 1996 prior to commencing building works

Project Title
**Cygnets House
2 Clarence Street
Staines-Upon-Thames
Middlesex
TW18 4SP**

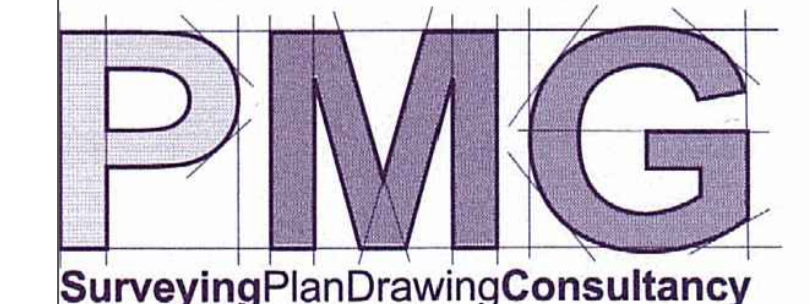
Drawing Title
Proposed Second Floor Plan

Client
McKay Securities Ltd

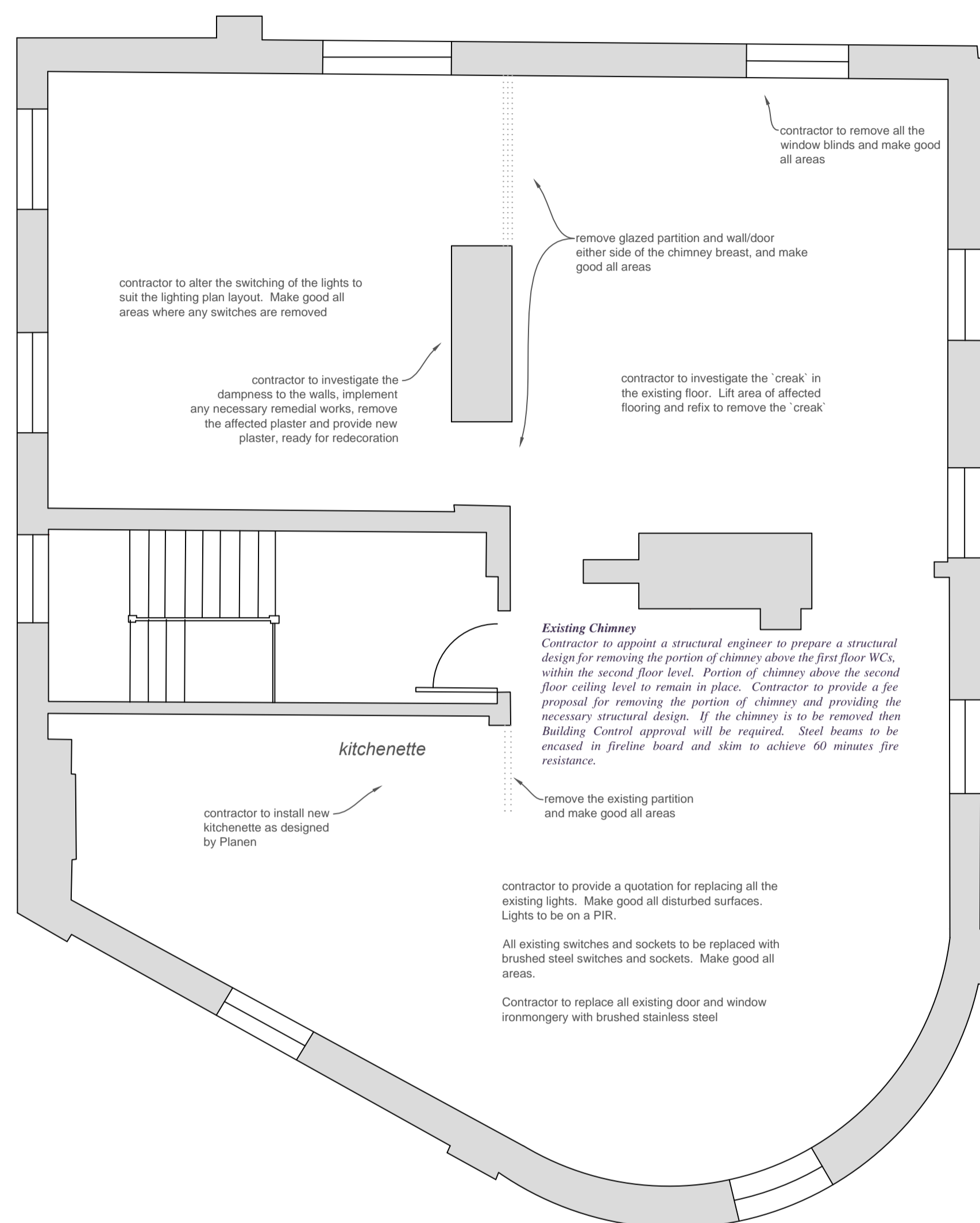
Date:
January 2015

Scale:
1:50 at A1

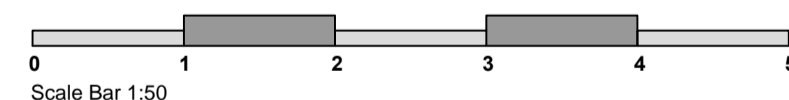
Drawing No.
005 rev C



PMG (Building Design & Consultancy) Ltd
20 Bluebell Way,
Whiteley, Fareham,
Hampshire PO15 7FF
Tel: 07796 124247
Email: paul@pmgtd.uk.com
www.pmgtd.uk.com



PROPOSED SECOND FLOOR PLAN - 1:50



General Dilapidations

Schedule of Dilapidations Ref No. 15 - Clause No 5.23 & 5th Schedule (2.2)
Redecorate all surfaces; including walls, ceilings, skirtings, architraves, joinery, windows and doors - see specification

Schedule of Dilapidations Ref No 16 - Clause 5.6.1 - contractor to carry out a periodic test and inspection of the electrical system and provide certification to the client. Contractor to carry out an inspection and test of the emergency lighting system and provide certification to the client. Contractor to carry out an inspection and test of the existing fire alarm system and provide certification to the client.

Schedule of Dilapidations Ref No 17 - Clause 5.6.1 - contractor to carry out a test and inspection of the gas fired boiler and provide commercial gas safe certification to the client.

Schedule of Dilapidations Ref No 18 - Clause 5.6.1 - contractor to carry out a full survey of the water services. Contractor to provide chlorination certificates and water risk assessments to the client.

Schedule of Dilapidations Ref No 19 - Clause 5.23 & 5th Schedule (2.1) - contractor to arrange for all internal glass/glazing to be thoroughly cleaned (internally and externally).

Schedule of Dilapidations Ref No 20 & 21 - Clause 5.5.2 - contractor remove all intruder alarm systems (including all wiring and sensors), data and telecom systems (back to the incoming BT line, and including all wiring, trunking and terminals) and make good all areas. Contractor to ensure that any intruder systems and data systems serving the ground floor retail unit remain in place.

Schedule of Dilapidations Ref No 22 - Clause 5.5.2 - contractor to remove the existing kitchen units/tea point at first and second floor level (including any wall tiling). Contractor to install new kitchenettes, splash backs, services, fittings etc as designed by Planen, Cygnets House, Market Square, Staines-Upon-Thames, TW18 4RH - 01784 461887 (contact: Mr Daryl Robinson).

Schedule of Dilapidations Ref No 23 & 24 - Clause 5.4 - contractor to arrange for all existing carpets to be lifted and disposed off. Contractor to provide clients with quotation for either: (a) replacing existing carpets with new carpets of an identical colour and quality, (b) repairing the existing timber floor boards, sanding/stripping the floorboards and providing a stain to the floorboards.

Schedule of Dilapidations Ref No 25 - Clause 5.4 - contractor to replace all existing door ironmongery with brushed stainless steel ironmongery of a type to clients approval.

Schedule of Dilapidations Ref No 19 - Clause 5.23 & 5th Schedule (2.1) - contractor to arrange for all internal glass/glazing to be thoroughly cleaned (internally and externally).

Dilapidations to Second Floor

Schedule of Dilapidations Ref No 26 - Clause 5.5.2 - contractor to remove the extension cable and plug from the skirting and make good all areas.

Schedule of Dilapidations Ref No 27 & 28 - Clause 5.5.2 - contractor to remove the glazed partition and door/partition either side of the chimney breast, and the partition alongside the tea point/kitchenette. Contractor to make good all areas.

Schedule of Dilapidations Ref No 29 - Clause 5.5.2 - contractor to alter the existing switching to suit the lighting plan layout. Make good areas where redundant switches have been removed.

Schedule of Dilapidations Ref No 30 - Clause 5.5.2 - contractor to remove all the window blinds and make good all areas.

Schedule of Dilapidations Ref No 31 - Clause 5.4 - once the carpets have been removed the contractor is to investigate the 'creaking' floor. Lift area of affected floor and refix to remove 'creak'.

Schedule of Dilapidations Ref No 32 - Clause 5.4 - contractor to investigate the areas of damp to the second floor walls. Remove the areas of affected plaster, provide a new plaster ready for new decorations.

General Items

Contractor to replace all existing switches, sockets etc with new brushed steel sockets/switches to clients approval. Contractor to provide fee proposal to client for providing new power and data boxes/sockets/outlets within the floor (maximum of 5 per floor)

Contractor to provide a PIR to all lighting systems within the building

Contractor to provide a quotation for replacing all existing fire safety signage with stainless steel signage.

Contractor to replace all existing ironmongery to the windows with new matching ironmongery

Contractor to provide a quotation for replacing all existing internal lights as detailed in the lighting designers details. Make good all areas following installation of the new lights

Electrical subcontractor to investigate the existing electrical system and prepare a quotation for installing separate electrical meters to the three office suites and the ground floor shop.

Mechanical subcontractor to investigate the existing heating and hot water system and prepare a quotation for providing a direct hot water feed from the boiler system to serve the WCs and Kitchenettes.